

# INSPECTION REPORT



For the Property at:  
**ST ELSE WHERE**  
COOL STREAM, AB

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Prepared for: JOHN AND JANE DOE  
Inspection Date: Friday, April 1, 2011  
Prepared by: Kevin Lester

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At K L Home Inspections Ltd. we will inspect a home or building as if it were our own!

# REPORT SUMMARY

St Else Where, Cool Stream, AB April 1, 2011

Report No. 1011, v.12

[www.klhomeinspections.ca](http://www.klhomeinspections.ca)

REPORT SUM

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

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**Note:** For the purpose of this report the building is considered to be facing **East**.

This is a summary of the significant items found during the inspection. They relate but are not limited to safety, condition, and cost.

## Roofing

### **SLOPED ROOFING \ Asphalt shingles**

**Condition:** • Cupping, curling, clawing

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** East

**Task:** Replace

**Time:** Less than 2 years

**Cost:** Major

## Exterior

### **ROOF DRAINAGE \ Downspouts**

**Condition:** • Downspouts end too close to building

Extend this downspout to six ft to keep water out of garden area.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** East Exterior

**Task:** Improve

**Time:** Less than 1 year

**Cost:** Minor

### **EXTERIOR GLASS \ Window wells**

**Condition:** • Missing

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** South Exterior

**Task:** Provide

**Time:** Less than 1 year

**Cost:** Depends on approach

### **PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards**

**Condition:** • Missing

Rear deck

**Implication(s):** Fall hazard

**Location:** Rear

**Task:** Provide

**Time:** Immediate

**Cost:** Minor

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## LANDSCAPING \ Lot grading

**Condition:** • Improper slope

Watch these areas for water build-up. Consider regrading away from house if water remains in low areas.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Front

**Task:** Monitor/ Correct if necessary

**Time:** Unpredictable

## Electrical

### SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

**Condition:** • Double taps

**Implication(s):** Fire hazard

**Location:** Basement Utility room

**Task:** Correct

**Time:** Immediate

**Cost:** Minor

### DISTRIBUTION SYSTEM \ Switches

**Condition:** • Poor location at furnace

Access to switch is too far from utility entrance. Relocate closer to door and have switch between furnace and door.

**Location:** Utility room

**Task:** Correct

**Time:** Immediate

**Cost:** Minor

## Heating

### GAS FURNACE \ Heat exchanger

**Condition:** • Cracks, holes or rust

Heat exchanger rusted. Have gas company verify heat exchanger integrity.

**Location:** Utility room

**Task:** Further Evaluate

**Time:** Immediate

### GAS FURNACE \ Venting system

**Condition:** • Poor slope

**Implication(s):** Equipment not operating properly | Hazardous combustion products entering home

**Location:** Basement Furnace room

**Task:** Correct

**Time:** Immediate

**Cost:** Minor

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## **CHIMNEY AND VENT \ Metal chimney or vent**

**Condition:** • Inadequate chimney height above roof

**Implication(s):** Equipment not operating properly | Hazardous combustion products entering home

**Location:** Roof

**Task:** Correct

**Time:** Less than 1 year

**Cost:** Minor

## Cooling & Heat Pump

### **AIR CONDITIONING \ Evaporator coil**

**Condition:** • Frost

**Implication(s):** Increased cooling costs | Reduced comfort

**Location:** Basement Furnace room

**Task:** Service

**Time:** Less than 1 year

**Cost:** Depends on work needed

## Insulation and Ventilation

### **ATTIC/ROOF \ Roof vents**

**Condition:** • Inadequate

Consider adding roof vents in order to increase attic ventilation

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Attic

**Task:** Correct

**Time:** Less than 1 year

**Cost:** Minor

### **FOUNDATION \ Crawlspace ventilation**

**Condition:** • Inadequate

This is considered a large area clean-up and should be accomplished by a suitable contractor

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** North Crawl space

**Task:** Correct

**Time:** Less than 1 year

**Cost:** Major

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## Plumbing

### WATER HEATER \ Life expectancy

**Condition:** • Near end of life expectancy

**Implication(s):** No domestic hot water

**Location:** Utility room

**Task:** Monitor

**Time:** Unpredictable

**Cost:** Major

### WATER HEATER \ Hot/cold piping

**Condition:** • Polybutylene at water heater

Have contractor change out the poly B (plastic pipe) for copper. If changing tank, have contractor do so then.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Basement Utility room

**Task:** Repair or replace

**Time:** Less than 1 year

**Cost:** Minor

## Interior

### WINDOWS \ Hardware

**Condition:** • Broken

Window locking hardware. Security issue.

**Location:** South Basement

**Task:** Repair

**Time:** Immediate

**Cost:** Minor

### STAIRS \ Handrails

**Condition:** • Too low

**Implication(s):** Fall hazard

**Location:** Basement

**Task:** Correct

**Time:** Immediate

**Cost:** Minor

### CRAWLSPACE \ Wet crawlspace - evidence

**Condition:** • Mold

See Insulation section for image. This area should be cleaned and repaired within a year by a suitable contractor.

**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Contaminants may enter house air

**Location:** Throughout Crawl Space

**Task:** Correct

**Time:** Less than 1 year

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**Cost:** Major

## **GARAGE \ Vehicle doors**

**Condition:** • Difficult to open or close

**Implication(s):** Equipment not operating properly

**Location:** Garage

**Task:** Service

**Time:** Less than 1 year

**Cost:** Minor

For further detail, please refer to the report. Thank you.

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## Description

**Sloped roofing material:** • Asphalt shingles

**Probability of leakage:**

• High

On curled roof covering

• Medium

## Limitations

**Inspection performed:** • By walking on roof • From roof edge

## Recommendations

### **SLOPED ROOFING \ Asphalt shingles**

**Condition:** • Cupping, curling, clawing

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** East

**Task:** Replace

**Time:** Less than 2 years

**Cost:** Major



*Shingles are curled on this side of roof*

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## Description

**Gutter & downspout material:** • Aluminum  
**Gutter & downspout type:** • Eave mounted  
**Gutter & downspout discharge:** • Above grade  
**Lot slope:** • Away from house • Towards house  
**Wall surfaces - wood:** • Boards  
**Wall surfaces :** • Vinyl siding • Stucco  
**Soffit and fascia:** • Metal  
**Retaining wall:** • Masonry  
**Driveway:** • Stamped concrete  
**Walkway:** • Stamped concrete  
**Deck:** • Raised • Wood • Railings  
**Exterior steps:** • Wood

## Limitations

**Inspection limited/prevented by:** • Storage • New finishes/paint/trim • Car/storage in garage • Poor access under steps, deck, porch • Vines/shrubs/trees against wall  
**Upper floors inspected from:** • Ground level

## Recommendations

### ROOF DRAINAGE \ Downspouts

**Condition:** • Downspouts end too close to building  
Extend this downspout to six ft to keep water out of garden area.  
**Implication(s):** Chance of water damage to contents, finishes and/or structure  
**Location:** East Exterior  
**Task:** Improve  
**Time:** Less than 1 year  
**Cost:** Minor

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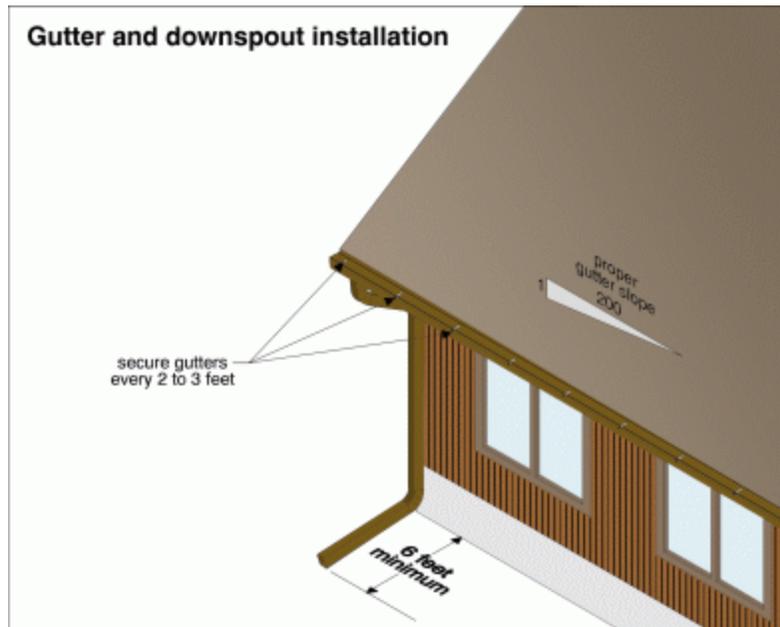
INSULATION

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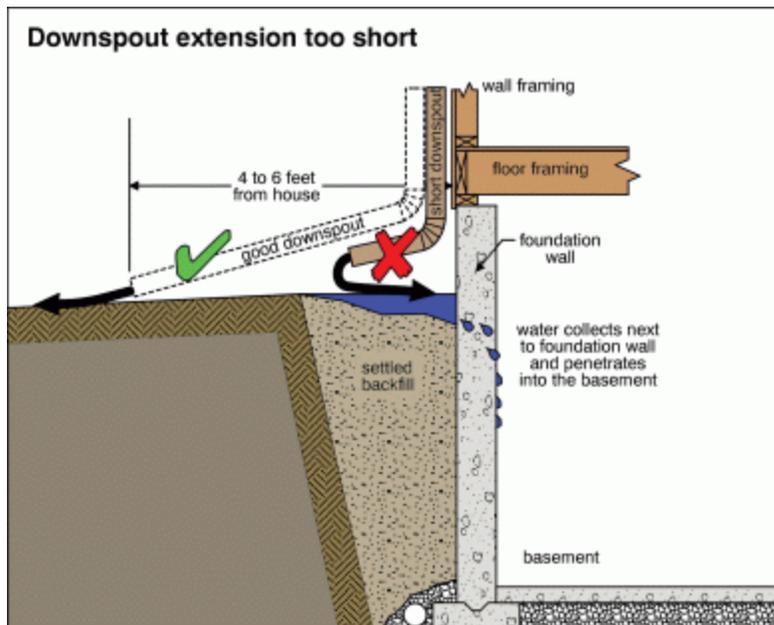
REFERENCE

## Gutter and downspout installation



[Click on image to enlarge.](#)

## Downspout extension too short



[Click on image to enlarge.](#)

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*Extend 6 feet minimum.*

## **WALLS \ Flashings and caulking**

**Condition:** • Caulking missing or ineffective

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** West Kitchen

**Task:** Service

**Time:** Less than 1 year

**Cost:** Minor

## **WALLS \ Vinyl siding**

**Condition:** • Buckled or wavy

**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure

**Location:** Various

**Task:** Monitor

**Time:** Unpredictable

## **WALLS \ Stucco and EIFS**

**Condition:** • Minor cracks

**Implication(s):** Cosmetic defects | Shortened life expectancy of material

**Location:** Various Exterior wall

**Task:** Monitor/Service

**Time:** Less than 2 years

**Cost:** Minor

## EXTERIOR GLASS \ Frames

**Condition:** • Paint or stain needed

**Implication(s):** Material deterioration

**Location:** Various

**Task:** Repair

**Time:** Less than 2 years

**Cost:** Minor

## EXTERIOR GLASS \ Window wells

**Condition:** • Missing

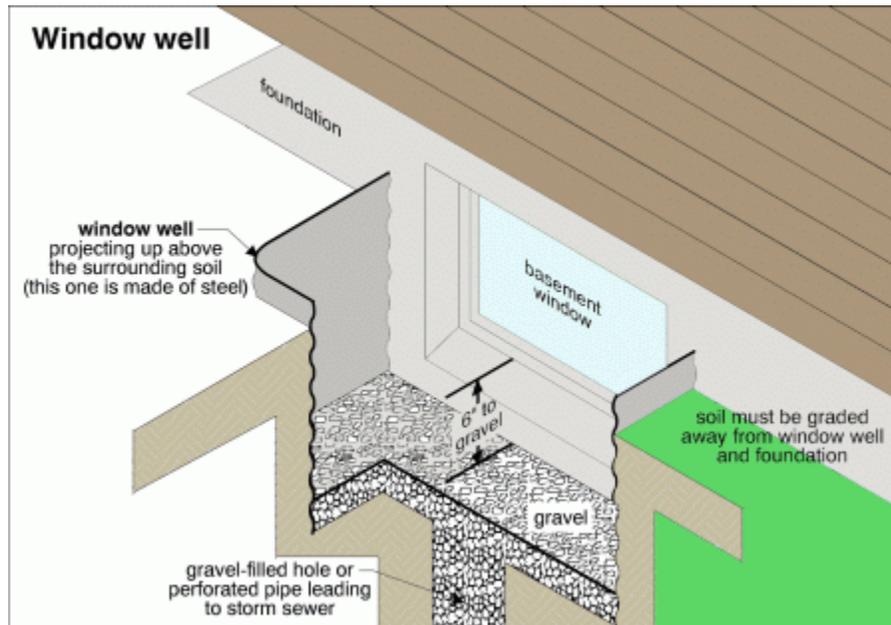
**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** South Exterior

**Task:** Provide

**Time:** Less than 1 year

**Cost:** Depends on approach



[Click on image to enlarge.](#)

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

**Condition:** • Missing

Rear deck

**Implication(s):** Fall hazard

**Location:** Rear

**Task:** Provide

**Time:** Immediate

**Cost:** Minor

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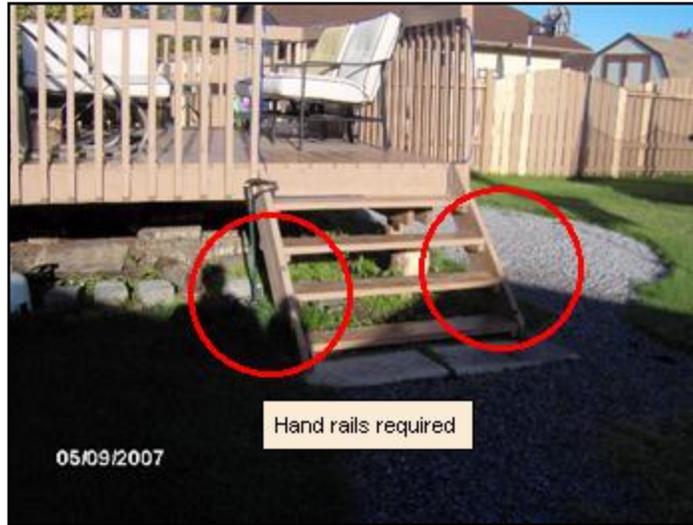
COOLING

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## LANDSCAPING \ Lot grading

**Condition:** • Improper slope

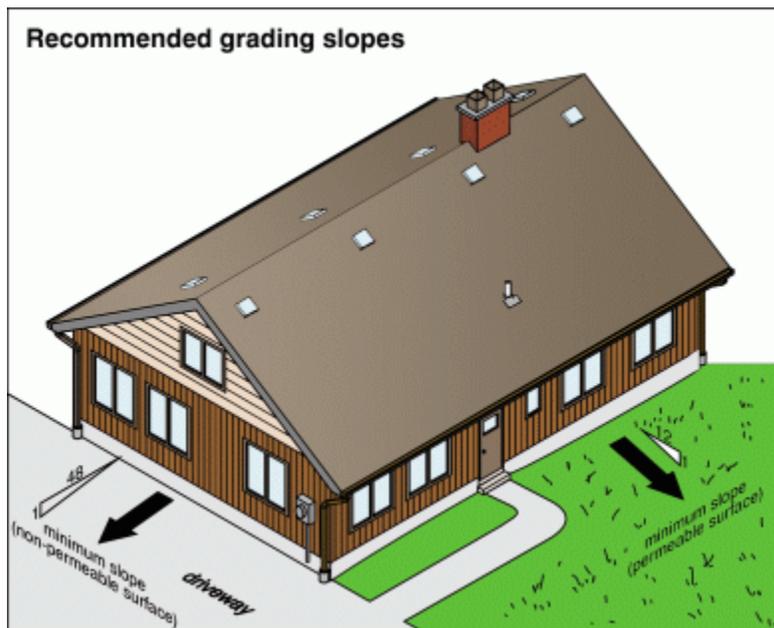
Watch these areas for water build-up. Consider regrading away from house if water remains in low areas.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Front

**Task:** Monitor/ Correct if necessary

**Time:** Unpredictable



[Click on image to enlarge.](#)

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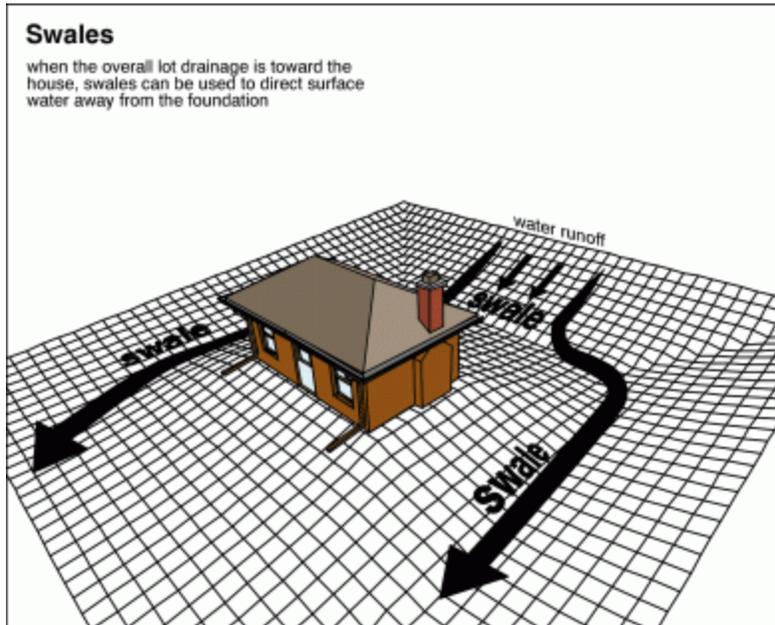
COOLING

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[Click on image to enlarge.](#)



Front yard

## Description

- Configuration:** • Basement
- Foundation material:** • Poured concrete
- Floor construction:** • Joists
- Exterior wall construction:** • Wood frame
- Roof and ceiling framing:** • Trusses

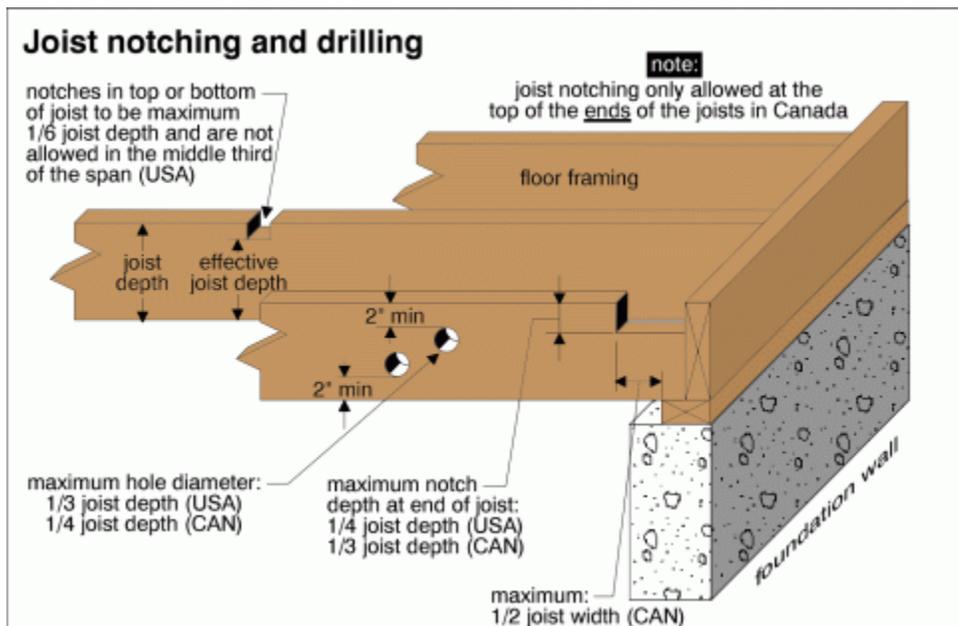
## Limitations

- Inspection limited/prevented by:** • Carpet/furnishings • Storage • New finishes/paint • Insulation
- Attic/roof space:** • Inspected from access hatch
- Percent of foundation not visible:** • 40 %

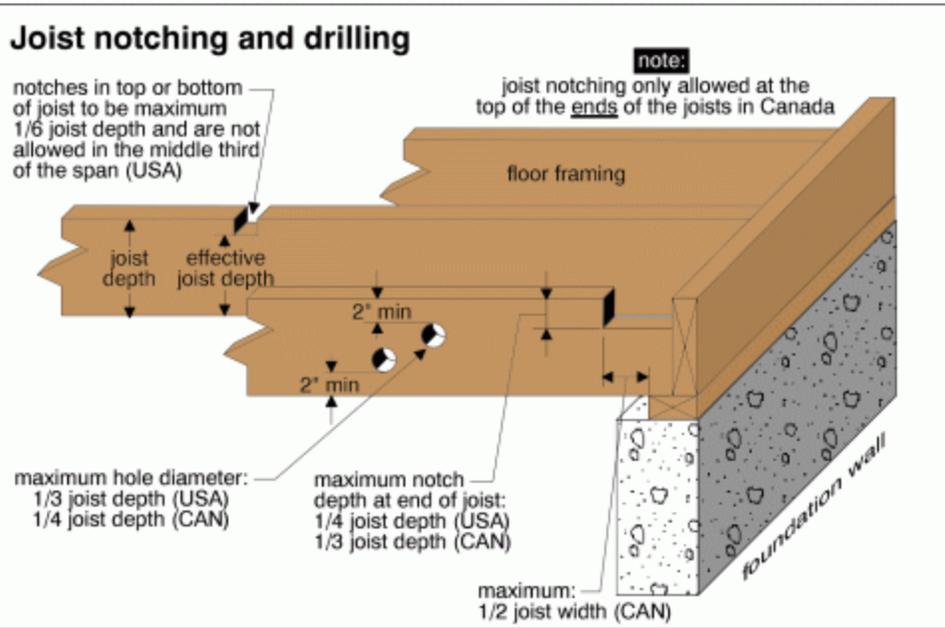
## Recommendations

### FLOORS \ Joists

- Condition:** • Notches or holes
- Implication(s):** Weakened structure
- Location:** Basement Utility room
- Task:** Improve
- Time:** Less than 1 year
- Cost:** Depends on work needed



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)

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## Description

**Service entrance cable and location:** • Underground - not visible

**Service size:** • 100 Amps (240 Volts)

**Main disconnect/service box rating:** • 125 Amps

**Main disconnect/service box type and location:** • Breakers - basement

**System grounding material and type:** • Copper - water pipe

**Distribution panel rating:** • 100 Amps

**Distribution panel type and location:** • Breakers - basement

**Distribution wire material and type:** • Copper - non-metallic sheathed

**Type and number of outlets (receptacles):** • Grounded - typical

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • GFCI - bathroom • GFCI - outside

**Smoke detectors:** • Present

## Limitations

**Inspection limited/prevented by:** • Restricted access • Storage • Insulation

**Panel covers:** • Disconnect covers are not removed by the home inspector

**System ground:** • Quality of ground not determined

## Recommendations

### **SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers**

**Condition:** • Double taps

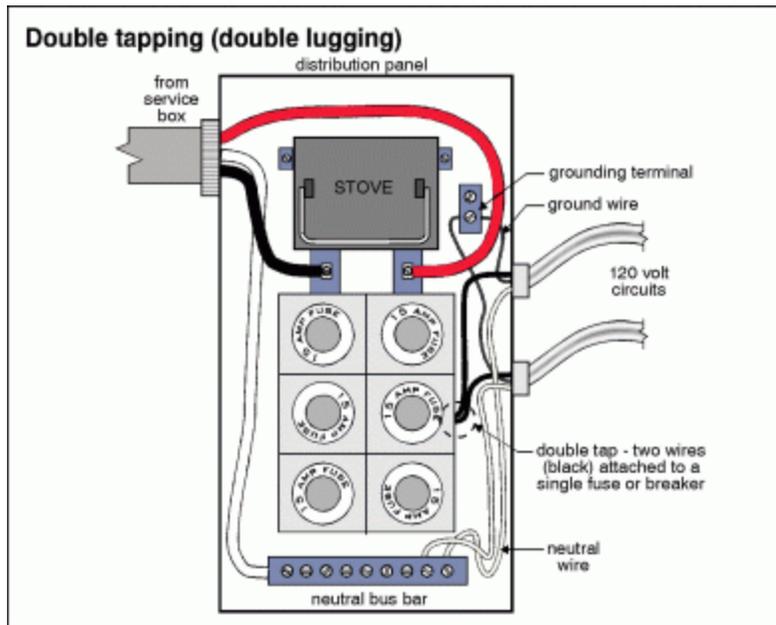
**Implication(s):** Fire hazard

**Location:** Basement Utility room

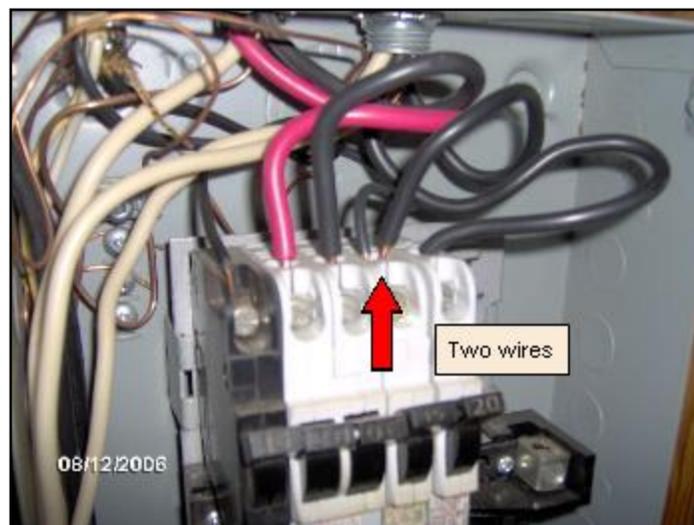
**Task:** Correct

**Time:** Immediate

**Cost:** Minor



[Click on image to enlarge.](#)



*Two wires in one breaker*

## **DISTRIBUTION SYSTEM \ Switches**

**Condition:** • Poor location at furnace

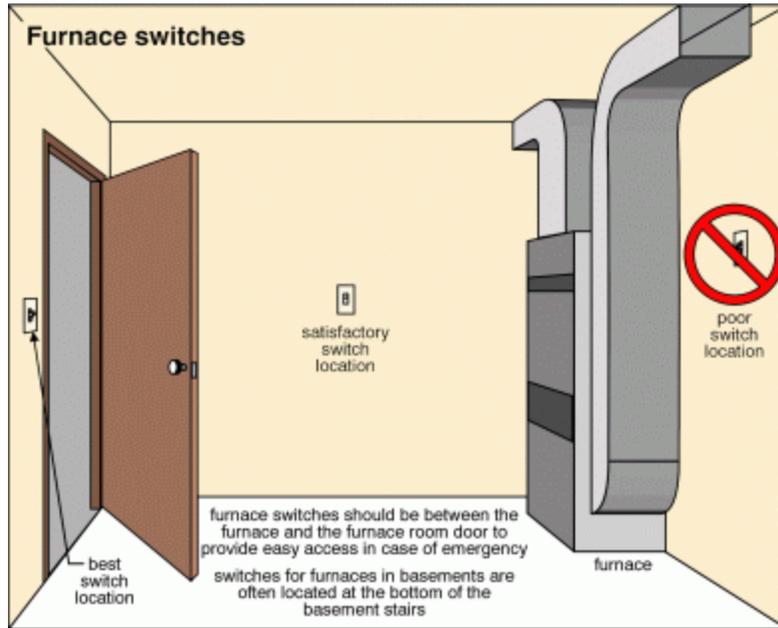
Access to switch is too far from utility entrance. Relocate closer to door and have switch between furnace and door.

**Location:** Utility room

**Task:** Correct

**Time:** Immediate

**Cost:** Minor



[Click on image to enlarge.](#)



*Locate between door and furnace.*

# HEATING

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## Description

**Fuel/energy source:** • Gas

**System type:** • Furnace

**Furnace manufacturer:** • Carrier

**Approximate capacity:** • 100,000 BTU/hr

**Efficiency:** • Mid-efficiency

**Approximate age:** • 10 years

**Failure probability:** • Medium

**Main fuel shut off at:** • Exterior wall

**Supply temperature:** • 135°

**Return temperature:** • 70°

**Fireplace:** • Gas fireplace

**Chimney/vent:** • Metal

**Chimney liner:** • Metal

**Combustion air source:** • Outside

## Limitations

**Safety devices:** • Not tested as part of a home inspection

**Heat exchanger:** • Only a small portion visible

## Recommendations

### GAS FURNACE \ Heat exchanger

**Condition:** • Cracks, holes or rust

Heat exchanger rusted. Have gas company verify heat exchanger integrity.

**Location:** Utility room

**Task:** Further Evaluate

**Time:** Immediate

### GAS FURNACE \ Venting system

**Condition:** • Poor slope

**Implication(s):** Equipment not operating properly | Hazardous combustion products entering home

**Location:** Basement Furnace room

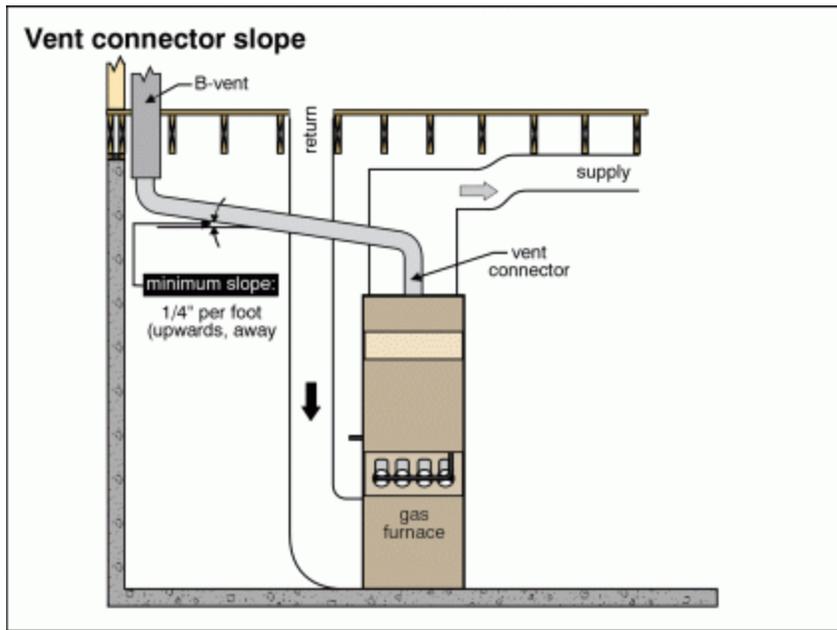
**Task:** Correct

**Time:** Immediate

**Cost:** Minor

# HEATING

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## CHIMNEY AND VENT \ Metal chimney or vent

**Condition:** • Inadequate chimney height above roof

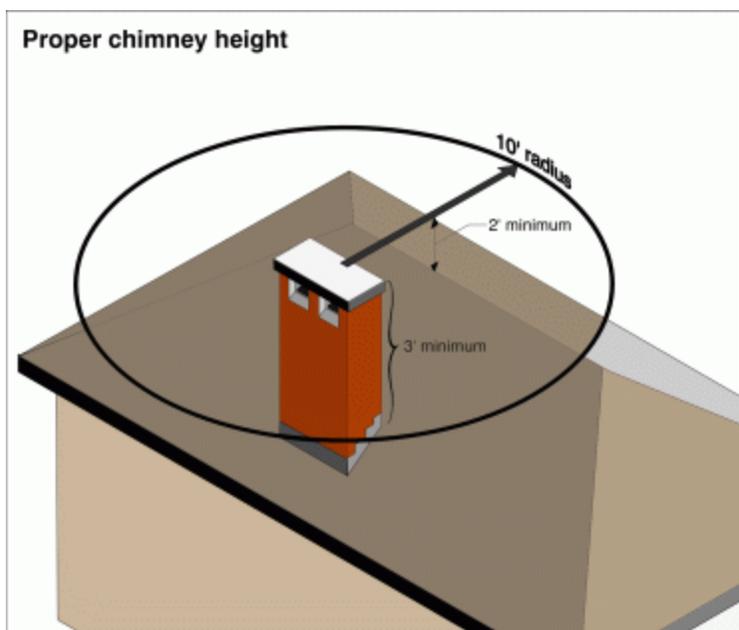
**Implication(s):** Equipment not operating properly | Hazardous combustion products entering home

**Location:** Roof

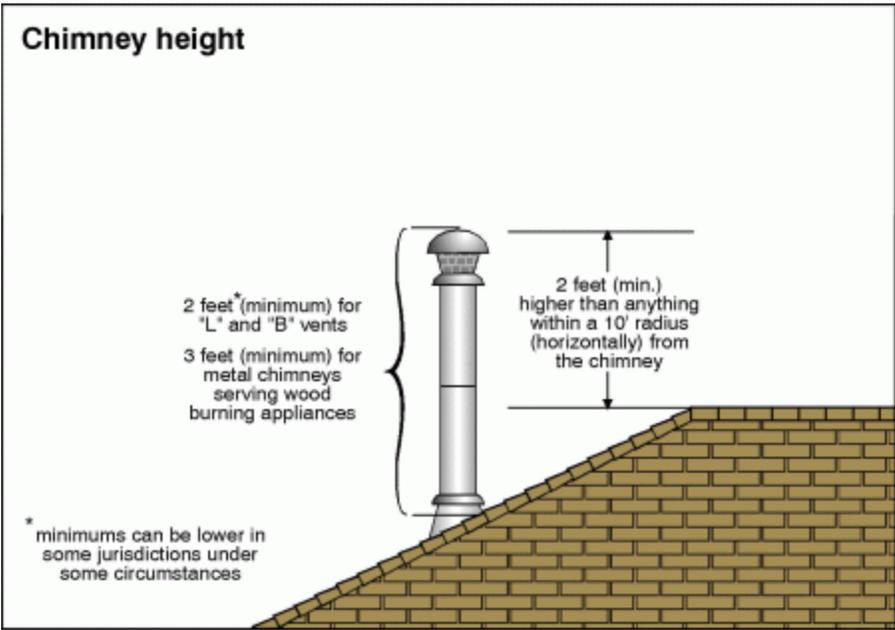
**Task:** Correct

**Time:** Less than 1 year

**Cost:** Minor



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)



*Chimney should be higher*

# COOLING & HEAT PUMP

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## Description

**Air conditioning type:** • Independent system

**Manufacturer:** • Carrier

**Cooling capacity:** • 30,000 BTU/hr

**Compressor type:** • Electric

**Compressor approximate age:** • 5 years

**Typical life expectancy:** • 10 to 15 years

**Failure probability:** • Low

**Supply temperature:** • 65°

**Return temperature:** • 75°

## Recommendations

### AIR CONDITIONING \ Evaporator coil

**Condition:** • Frost

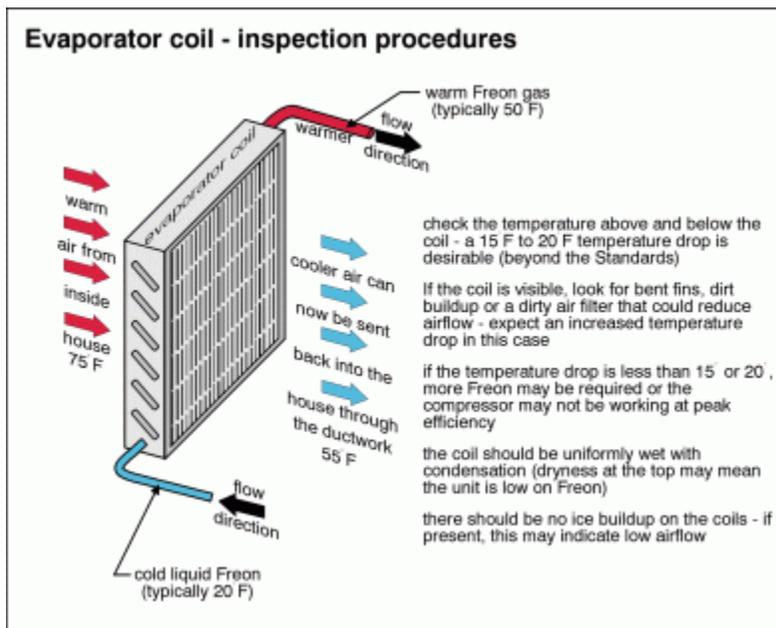
**Implication(s):** Increased cooling costs | Reduced comfort

**Location:** Basement Furnace room

**Task:** Service

**Time:** Less than 1 year

**Cost:** Depends on work needed



[Click on image to enlarge.](#)

## Description

**Attic/roof insulation material:** • Glass fiber

**Attic/roof insulation amount/value:** • R-32

**Attic/roof ventilation:** • Roof and soffit vents

**Wall insulation material:** • Glass fiber

**Wall insulation amount/value:** • R-20

**Foundation wall insulation material:** • Glass fiber

**Foundation wall insulation amount/value:** • R-12

**Air/vapor barrier:** • Plastic

## Limitations

**Attic inspection performed:** • From access hatch

**Roof space inspection performed:** • From access hatch

## Recommendations

### ATTIC/ROOF \ Roof vents

**Condition:** • Inadequate

Consider adding roof vents in order to increase attic ventilation

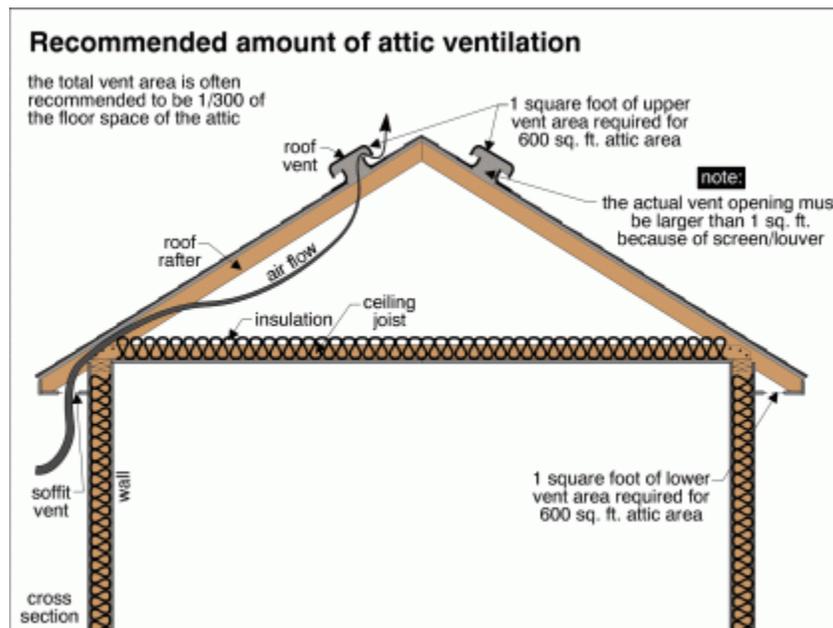
**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Attic

**Task:** Correct

**Time:** Less than 1 year

**Cost:** Minor



[Click on image to enlarge.](#)

## **FOUNDATION \ Crawlspace ventilation**

**Condition:** • Inadequate

This is considered a large area clean-up and should be accomplished by a suitable contractor

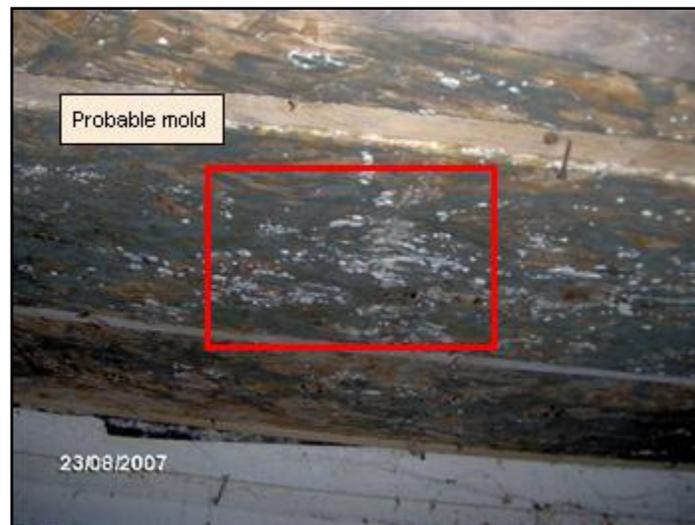
**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** North Crawl space

**Task:** Correct

**Time:** Less than 1 year

**Cost:** Major



*North crawlspace*

# PLUMBING

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## Description

**Water supply source:** • Public  
**Service piping into building:** • Copper  
**Supply piping in building:** • Plastic  
**Main water shut off valve at the:** • Basement • Utility room  
**Water flow (pressure):** • Typical for neighborhood  
**Water heater fuel/energy source:** • Gas  
**Water heater type:** • Conventional  
**Tank capacity:** • 33.3 gallons  
**Water heater approximate age:** • 10 years  
**Typical life expectancy:** • 8 to 12 years  
**Water heater failure probability:** • Medium  
**Waste disposal system:** • Public  
**Waste piping in building:** • Plastic  
**Pumps:** • Sump pump  
**Floor drain location:** • Near water heater  
**Gas piping:** • Steel

## Limitations

**Items excluded from a building inspection:** • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested

## Recommendations

**WATER HEATER \ Life expectancy**  
**Condition:** • Near end of life expectancy  
**Implication(s):** No domestic hot water  
**Location:** Utility room  
**Task:** Monitor  
**Time:** Unpredictable  
**Cost:** Major

## **WATER HEATER \ Hot/cold piping**

**Condition:** • Polybutylene at water heater

Have contractor change out the poly B (plastic pipe) for copper. If changing tank, have contractor do so then.

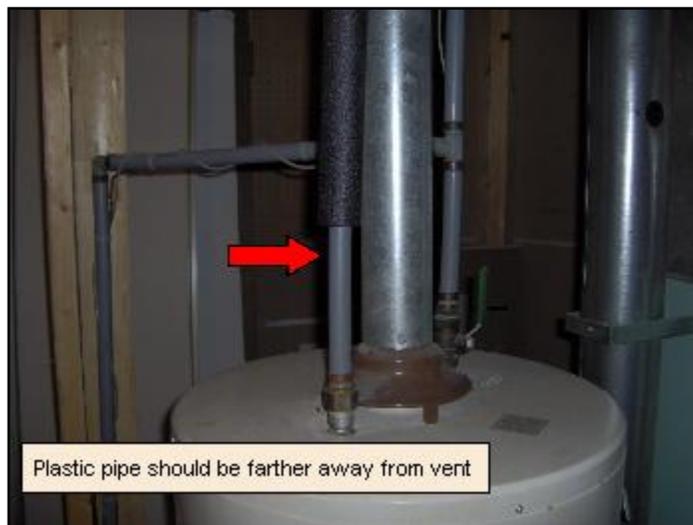
**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Basement Utility room

**Task:** Repair or replace

**Time:** Less than 1 year

**Cost:** Minor



*Plastic pipe at the water heater*

## **WASTE PLUMBING \ Venting system**

**Condition:** • Island venting problems

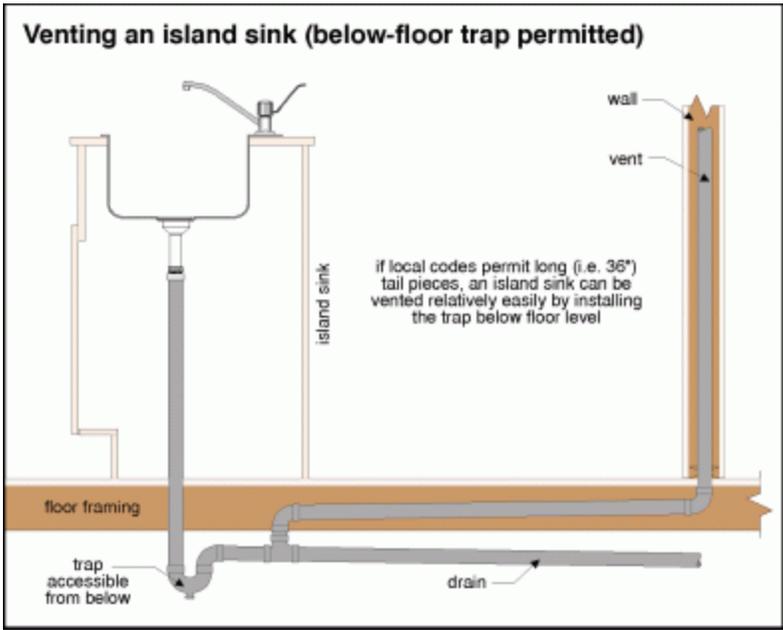
**Implication(s):** Sewer gases entering the house

**Location:** Kitchen

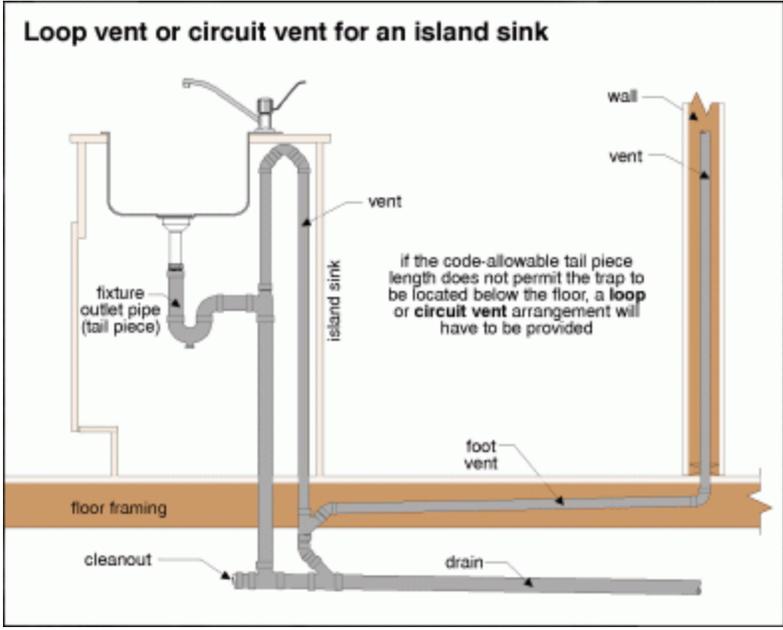
**Task:** Correct

**Time:** Less than 1 year

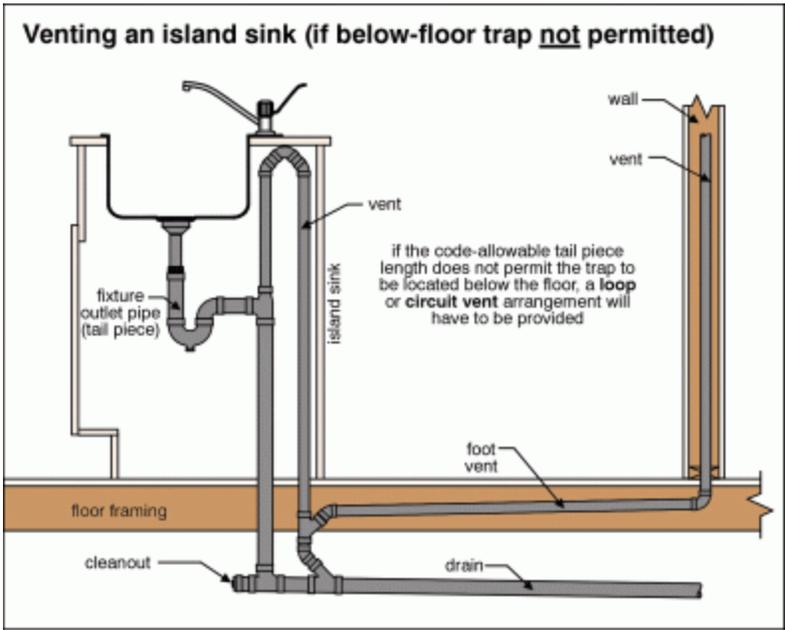
**Cost:** Minor



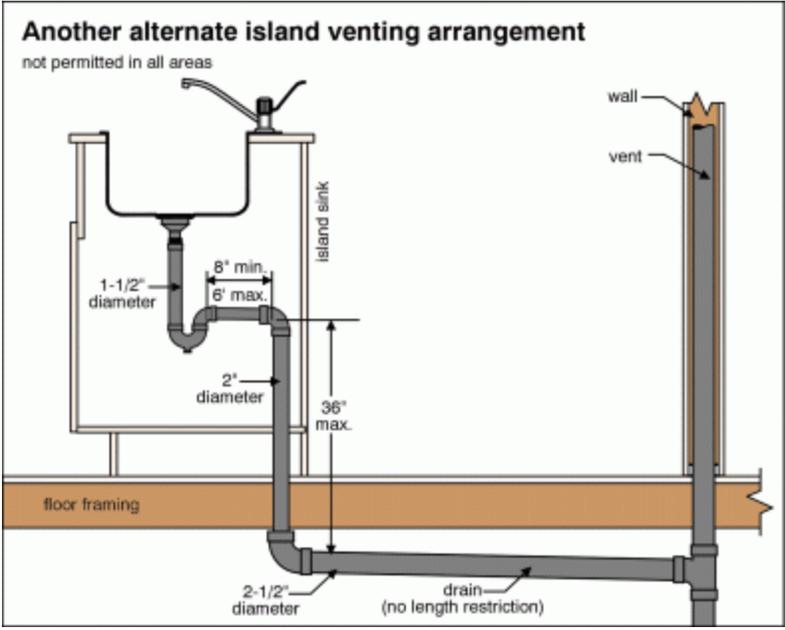
[Click on image to enlarge.](#)



[Click on image to enlarge.](#)



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# INTERIOR

St Else Where, Cool Stream, AB April 1, 2011

Report No. 1011, v.12

[www.klhomeinspections.ca](http://www.klhomeinspections.ca)

REPORT SUM

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## Description

**Major floor finishes:** • Carpet • Hardwood • Resilient • Laminate

**Major ceiling finishes:** • Suspended tile

**Major wall and ceiling finishes:** • Plaster/drywall

**Windows:** • Fixed • Sliders • Casement • Skylight

**Glazing:** • Double

**Exterior doors - type/material:** • Storm • Metal

**Doors:** • Inspected

**Stairs and railings:** • Inspected

## Limitations

**Inspection limited/prevented by:** • Carpet • Storage/furnishings • New finishes/paint • Storage in closets/cupboards

**Restricted access to:** • Basement • Living room • Master bedroom • Utility room

**Percent of foundation not visible:** • 75 %

## Recommendations

### WINDOWS \ Hardware

**Condition:** • Inoperable

Window will not close sufficiently to operate lock.

**Implication(s):** System inoperative or difficult to operate

**Location:** Master bedroom

**Task:** Repair

**Time:** Less than 1 year

**Cost:** Minor



*Window will not close to enable lock*

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**Condition:** • Broken

Window locking hardware. Security issue.

**Location:** South Basement

**Task:** Repair

**Time:** Immediate

**Cost:** Minor



*Lock mech. broken - no security.*

## CARPENTRY \ Countertops

**Condition:** • Loose or missing pieces

Counter delaminating above dishwasher.

**Implication(s):** Cosmetic defects | Hygiene issue

**Location:** Kitchen

**Task:** Monitor/Replace

**Time:** If delamination continues

## STAIRS \ Handrails

**Condition:** • Too low

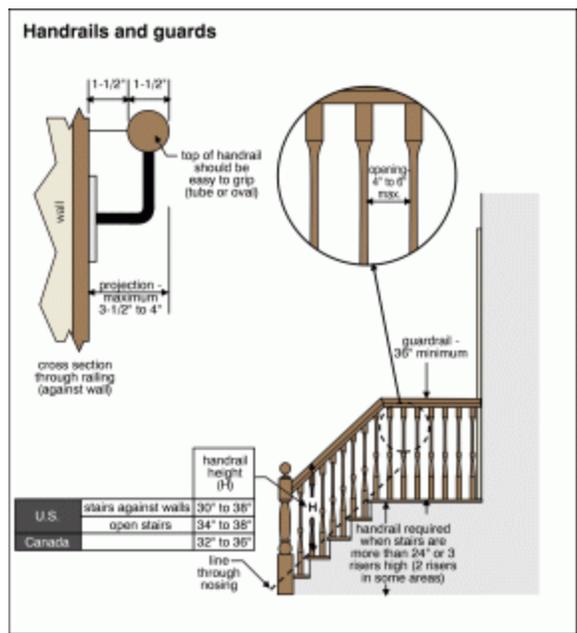
**Implication(s):** Fall hazard

**Location:** Basement

**Task:** Correct

**Time:** Immediate

**Cost:** Minor



## CRAWLSPACE \ Wet crawlspace - evidence

**Condition:** • Mold

See Insulation section for image. This area should be cleaned and repaired within a year by a suitable contractor.

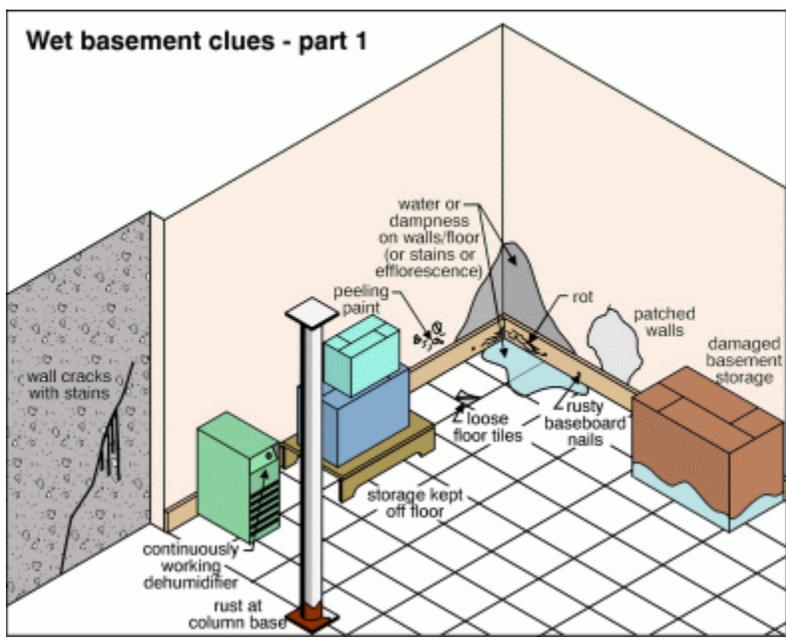
**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Contaminants may enter house air

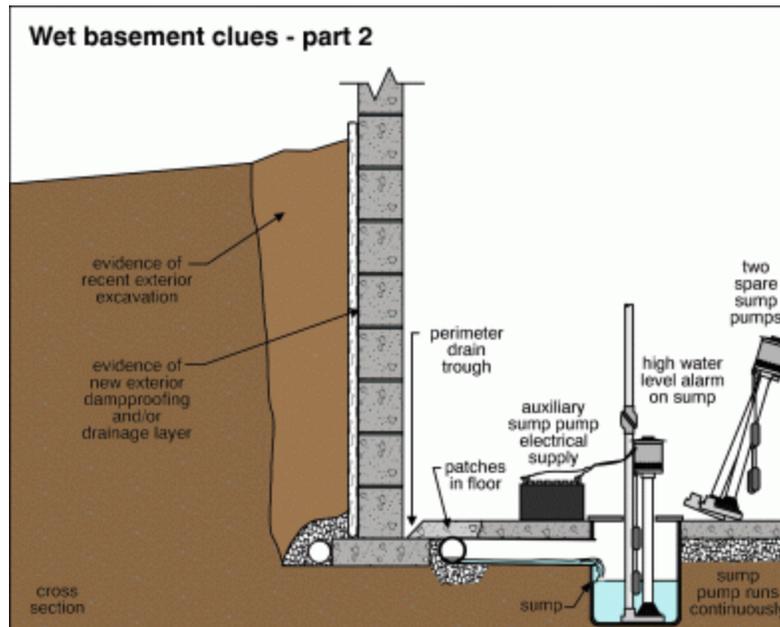
**Location:** Throughout Crawl Space

**Task:** Correct

**Time:** Less than 1 year

**Cost:** Major





[Click on image to enlarge.](#)

## GARAGE \ Vehicle doors

**Condition:** • Difficult to open or close

**Implication(s):** Equipment not operating properly

**Location:** Garage

**Task:** Service

**Time:** Less than 1 year

**Cost:** Minor

## EXHAUST FANS \ Exhaust fan

**Condition:** • Missing

Need to add a exhaust fan.

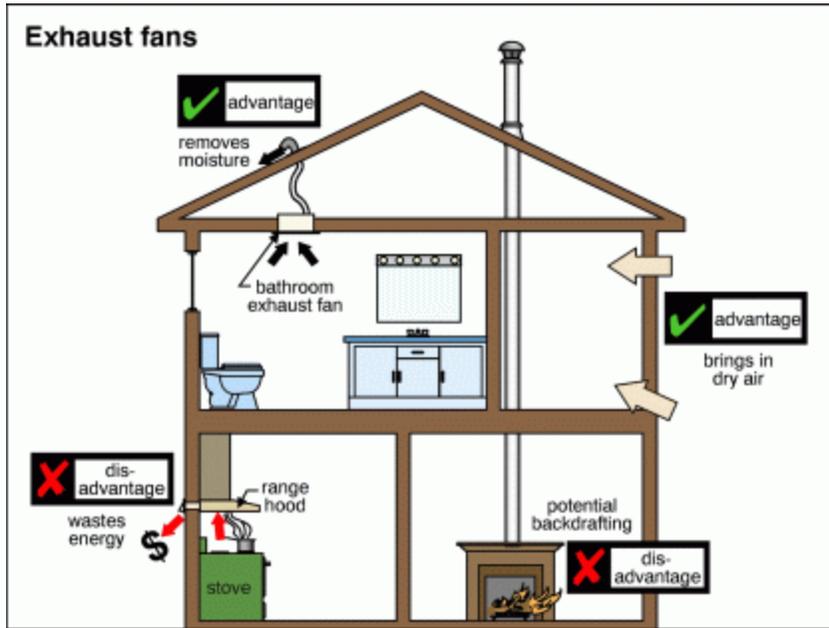
**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Basement Bathroom

**Task:** Provide

**Time:** Less than 1 year

**Cost:** Depends on approach



Click on image to enlarge.

END OF REPORT

# REFERENCE LIBRARY

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The links below connect you to a series of documents that will help you understand your home and how it works. The body of the report contains specific information about your home. Many report items have related links that provide you more information about that particular component or issue.

This Library is a broad reference tool. For example, if you want to know the difference between asphalt shingles and wood shingles, you can look in here. If you have a conventional furnace and are trying to decide whether to upgrade to a mid-efficiency or high-efficiency furnace, this information may be helpful. If your home does not have air conditioning, but you are thinking about adding it, there is helpful information for you in here.

The Library is broken into nine house systems: Roofing, Exterior, Structure, Electrical, Heating, Cooling, Insulation, Plumbing and Interior. Click on any link to read about that system.

- [1. Roofing and Chimney](#)
- [2. Exterior](#)
- [3. Structure](#)
- [4. Electrical](#)
- [5. Heating](#)
- [6. Cooling](#)
- [7. Insulation](#)
- [8. Plumbing](#)
- [9. Interior](#)